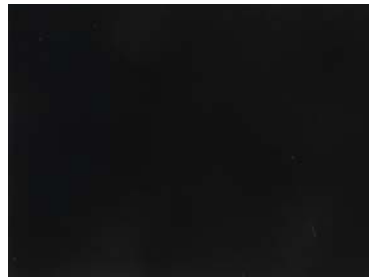


ALTERNATE WINDOW COLOR: BLACK



WINDOWS:
METAL FRAME,
PRE-FINISHED PAINT,
AWNING OR CASEMENT OPERATION,
CLEAR LOW-E GLAZING,
DARK BLUE
ALTERNATE COLOR: BLACK



WALL PANELS:
METAL PANEL,
PRE-FINISHED PAINT,
LIGHT GRAY



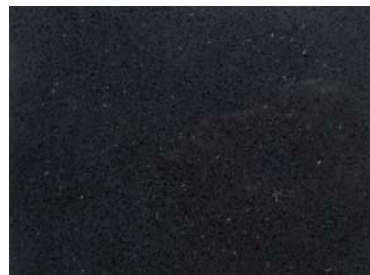
COLUMNS & BALCONY
FASCIA :
METAL,
PRE-FINISHED PAINT,
LIGHT GRAY

BRICK:
GOLDEN BUFF,
SMOOTH,
TERRA COTTA RED MORTAR



RAILINGS:
METAL,
DARK BLUE
ALTERNATE: BLACK

BELTCOURSE:
CAST STONE,
TERRA COTTA RED



SPRANDREL:
METAL,
LIGHT GRAY

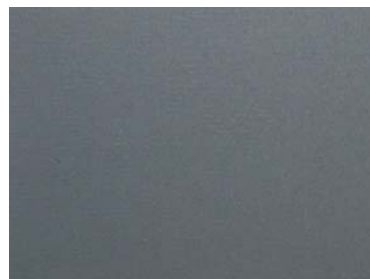
BASE:
GRANITE,
POLISHED,
BLACK

GENERAL NOTES:

1. Flexibility is requested to vary the final selection of exterior materials within the general material types proposed, based on availability at the time of construction. Quality of materials will not be reduced.
2. Ground floor retail bay elevations are illustrative & intended to describe the character & scale for the base of the building.
3. Residential exhaust vents to be integrated into final facade designs



ALTERNATE WINDOW COLOR: BLACK



EQUIPMENT SCREEN:
METAL PANEL,
PRE-FINISHED PAINT,
MEDIUM GRAY



WINDOWS:
METAL FRAME,
PRE-FINISHED PAINT,
AWNING OPERATION,
CLEAR LOW-E GLAZING,
DARK BLUE
ALTERNATE COLOR: BLACK



WALL PANELS:
METAL PANEL,
PRE-FINISHED PAINT,
LIGHT GRAY



BRICK:
GOLDEN BUFF,
SMOOTH,
TERRA COTTA RED MORTAR



BELTCOURSE:
CAST STONE,
TERRA COTTA RED

GENERAL NOTES:

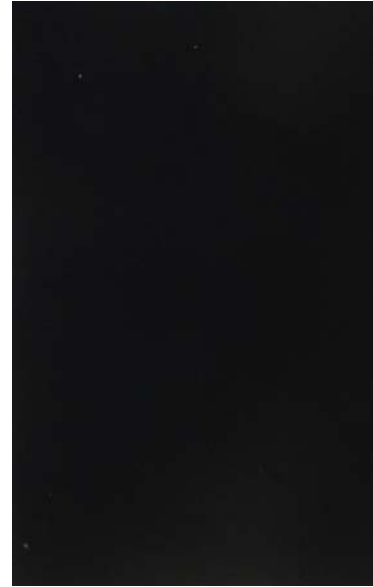
1. Flexibility is requested to vary the final selection of exterior materials within the general material types proposed, based on availability at the time of construction. Quality of materials will not be reduced.
2. Ground floor retail bay elevations are illustrative & intended to describe the character & scale for the base of the building.
3. Residential exhaust vents to be integrated into final facade designs

SPRANDREL:
METAL,
LIGHT GRAY

RAILINGS:
METAL,
DARK BLUE
ALTERNATE: BLACK



ALTERNATE WINDOW COLOR: BLACK



WINDOWS:
METAL FRAME,
PRE-FINISHED PAINT,
AWNING OPERATION,
CLEAR LOW-E GLAZING,
DARK BLUE
ALTERNATE COLOR: BLACK

BRICK:
GOLDEN BUFF,
SMOOTH,
TERRA COTTA RED MORTAR

MORTAR
GOLDEN BUFF,
TRUE TONE
#6058 CHOCOLATE BROWN

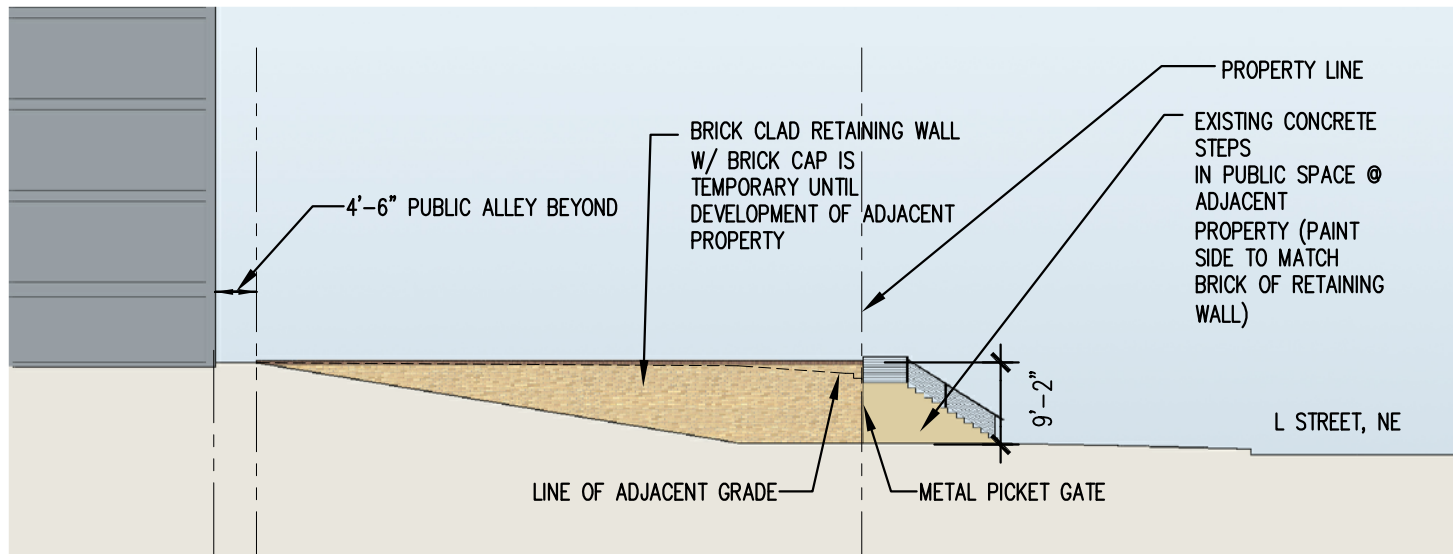
BASE:
GRANITE,
POLISHED,
BLACK



EQUIPMENT SCREEN:
METAL PANEL,
PRE-FINISHED PAINT,
MEDIUM GRAY

WALL PANELS:
METAL PANEL,
PRE-FINISHED PAINT,
LIGHT GRAY

BELTCOURSE:
CAST STONE,
TERRA COTTA RED



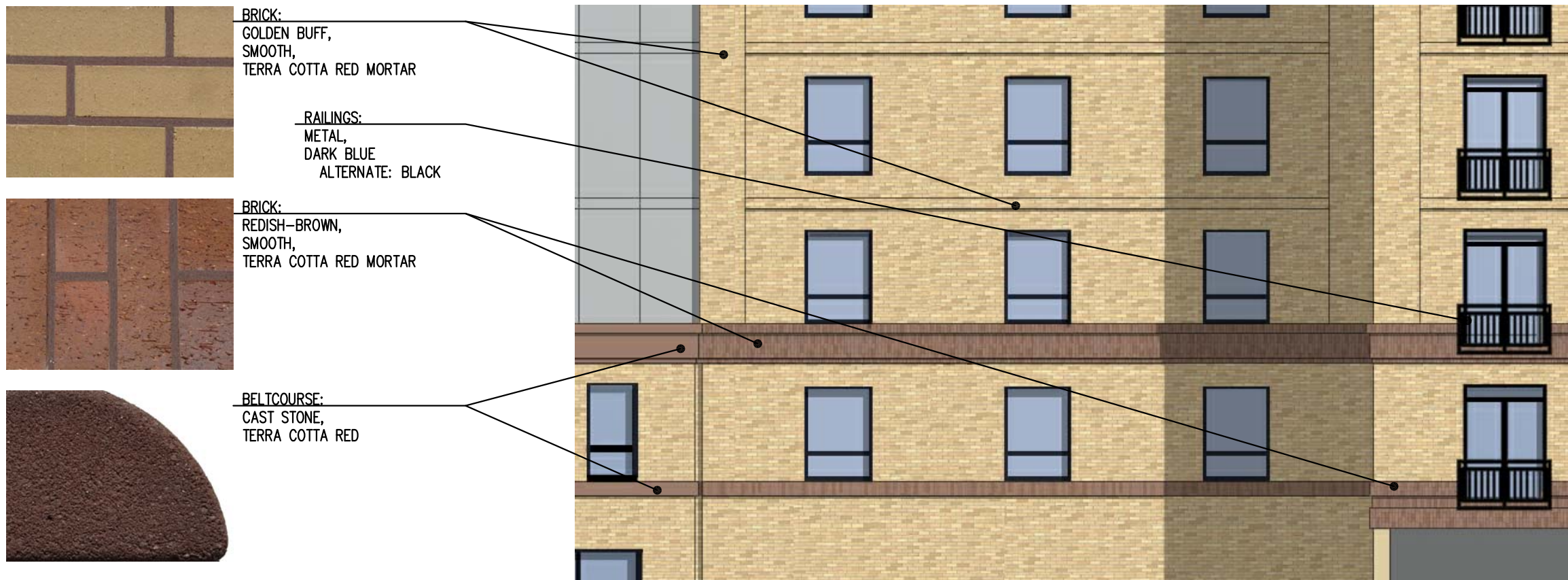
ELEVATION OF 5 FT EASEMENT RETAINING WALL, LOOKING EAST (NTS)



IMAGE OF GATE (NTS)

GENERAL NOTES:

1. Flexibility is requested to vary the final selection of exterior materials within the general material types proposed, based on availability at the time of construction. Quality of materials will not be reduced.
2. Ground floor retail bay elevations are illustrative & intended to describe the character & scale for the base of the building.
3. Residential exhaust vents to be integrated into final facade designs



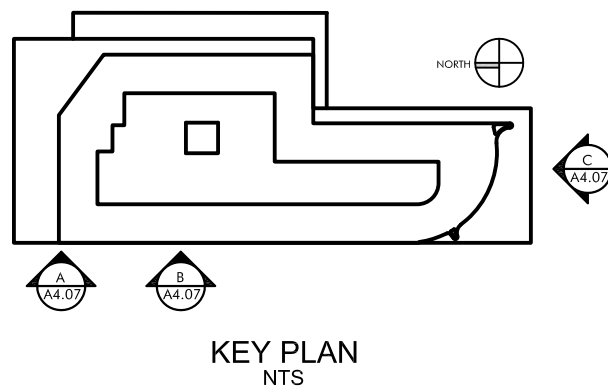
EXTERIOR MATERIALS FOR SECONDARY FACADES
1109 CONGRESS STREET, NE
Washington DC



WEST ELEVATION - CONGRESS STREET



SOUTH ELEVATION - L STREET

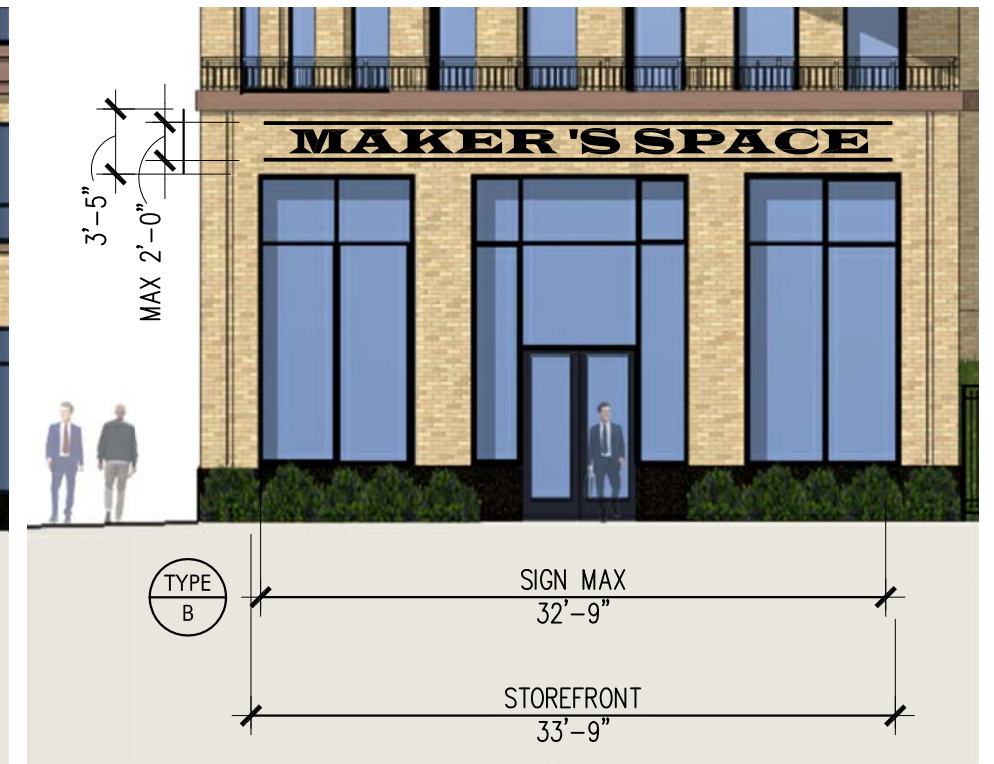
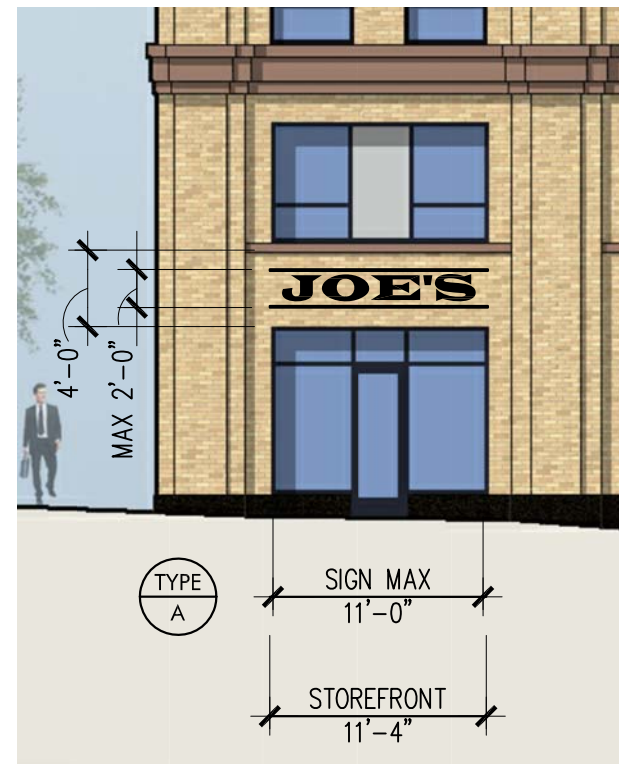


KEY PLAN
NTS



TYPICAL SIGNAGE EXAMPLES

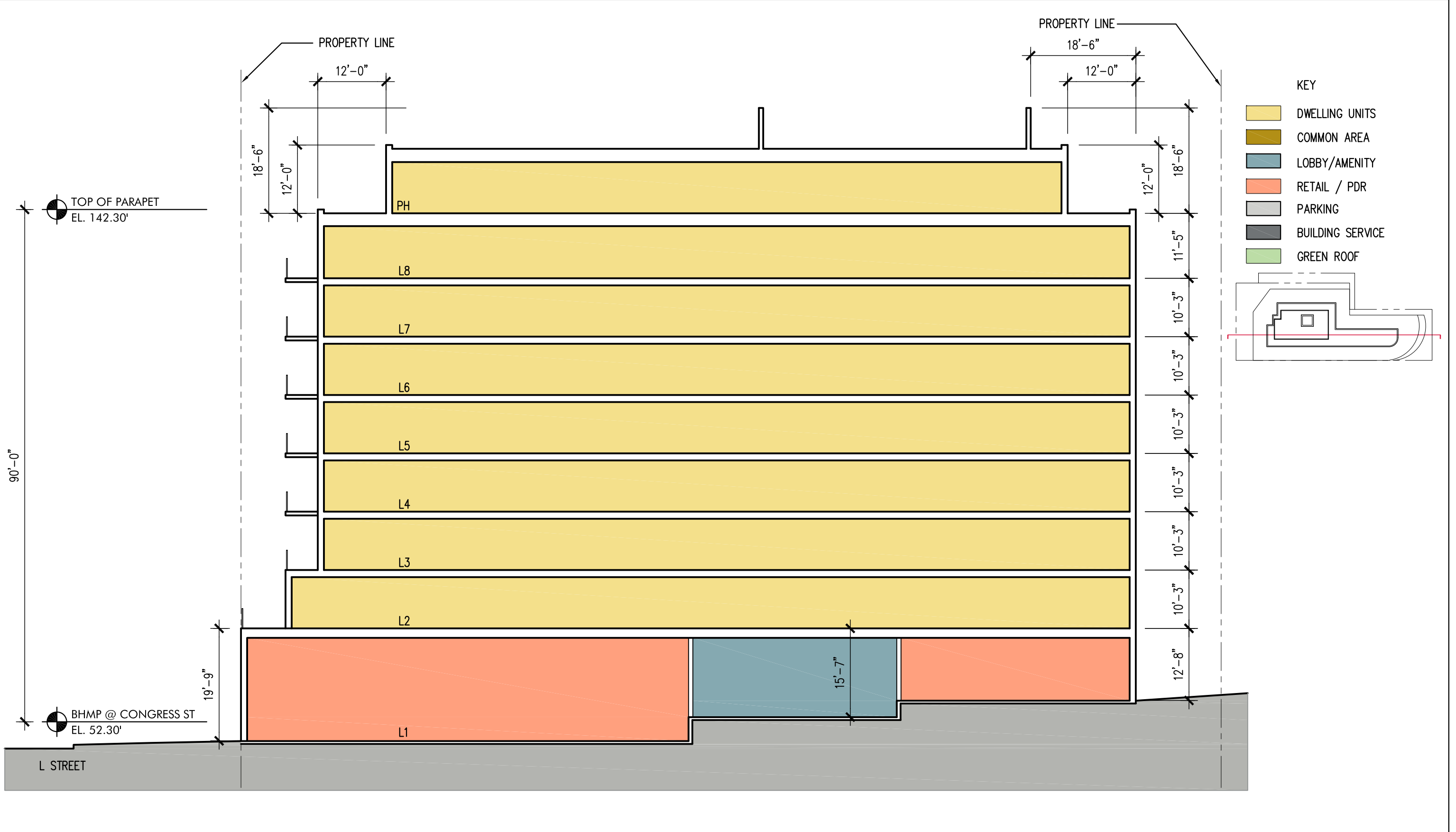
ACCEPTABLE RETAIL SIGNAGE IS PIN MOUNTED LETTERS WITH SURFACE MOUNTED LIGHTING



MAXIMUM RETAIL SIGNAGE PARAMETERS

SIGN	TYPE OF SIGN	SIGN WIDTH (MAX)	SIGN HEIGHT (MAX)	SIGN AREA	ALLOWED BY DCRA SIGN AREA (MAX)
A	RETAIL	11'-0"	2'-0"	22 SF	84 SF
B	RETAIL	32'-9"	2'-0"	65.5 SF	80 SF

FLEXIBILITY IS REQUESTED TO VARY THE FINAL SIGNAGE DESIGN. THE SIGNAGE SHOWN HERE IS ILLUSTRATIVE AND MAY BE MODIFIED PER SPECIFICATIONS OF THE RETAILER AND FINAL BUILDING BRANDING SO LONG AS IT IS CONSISTENT WITH THE PARAMETERS OUTLINED HEREIN AND D.C. SIGN REGULATIONS

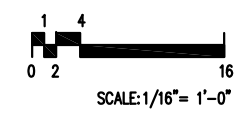


KEY

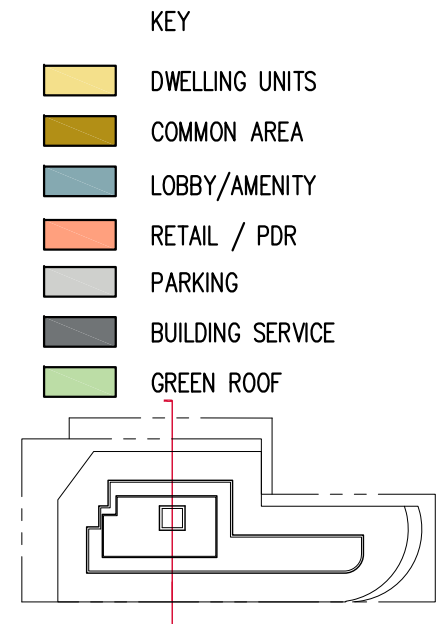
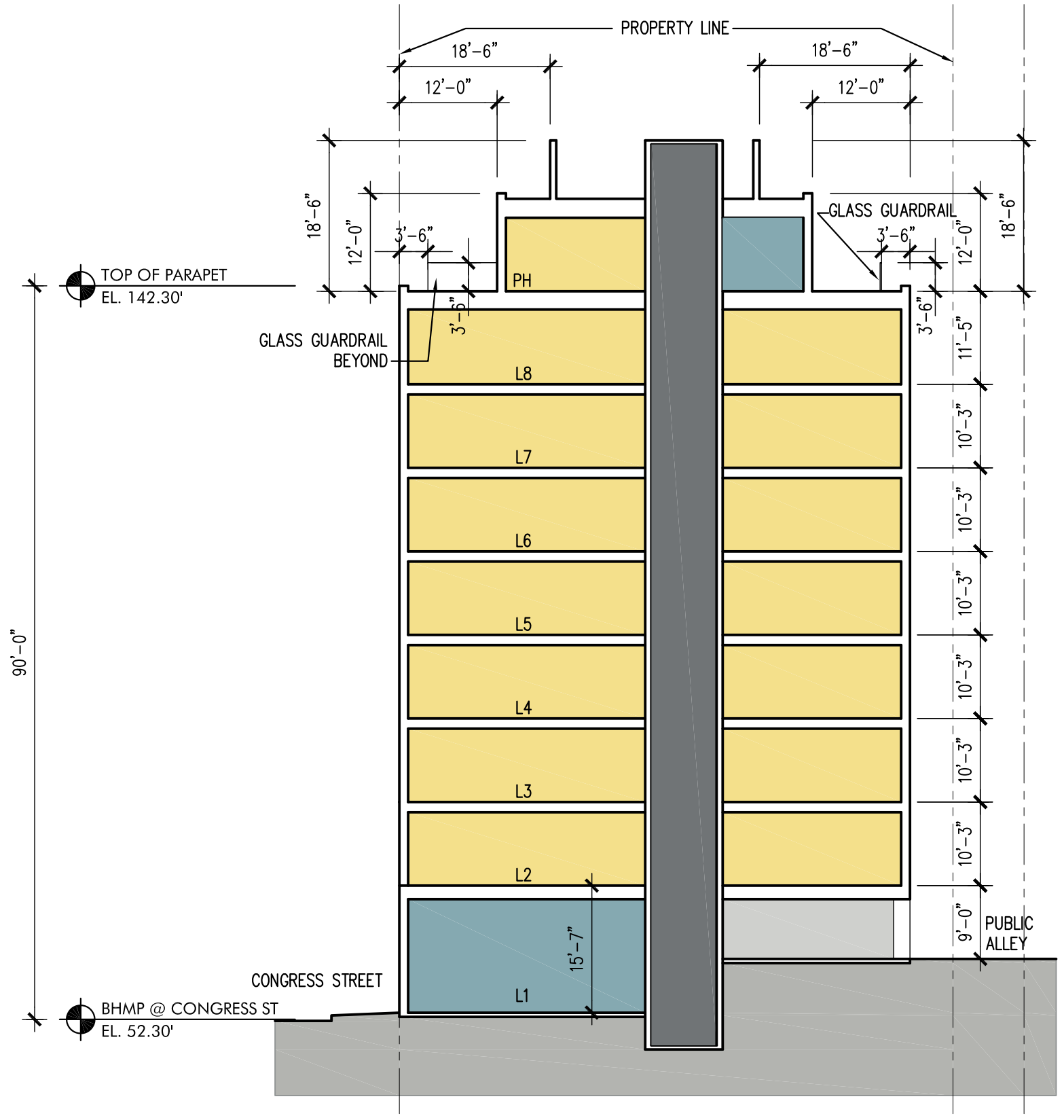
- DWELLING UNITS
- COMMON AREA
- LOBBY/AMENITY
- RETAIL / PDR
- PARKING
- BUILDING SERVICE
- GREEN ROOF

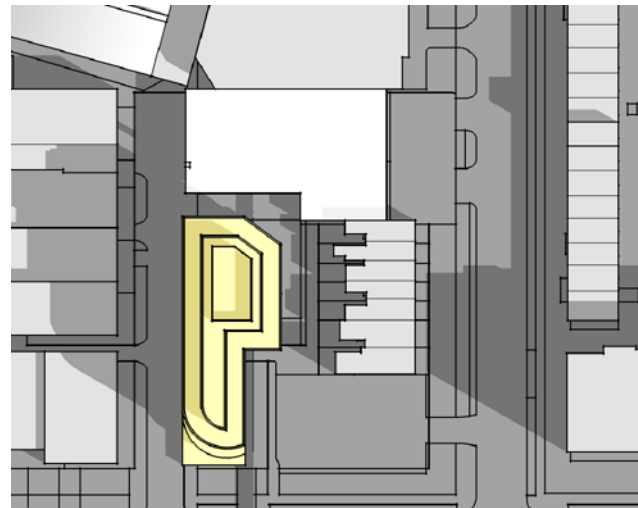
J STREET
development
1025 THOMAS JEFFERSON ST
WASHINGTON, DC 20007

LONGITUDINAL SECTION
1109 CONGRESS STREET, NE
Washington DC

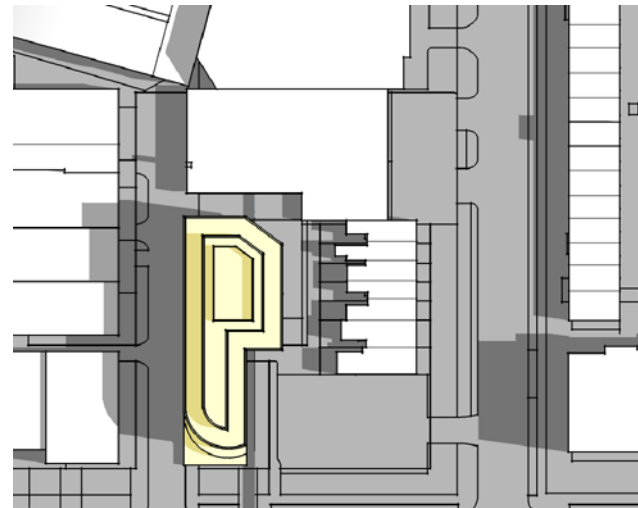


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1003 K STREET, NW
WASHINGTON, DC 20001

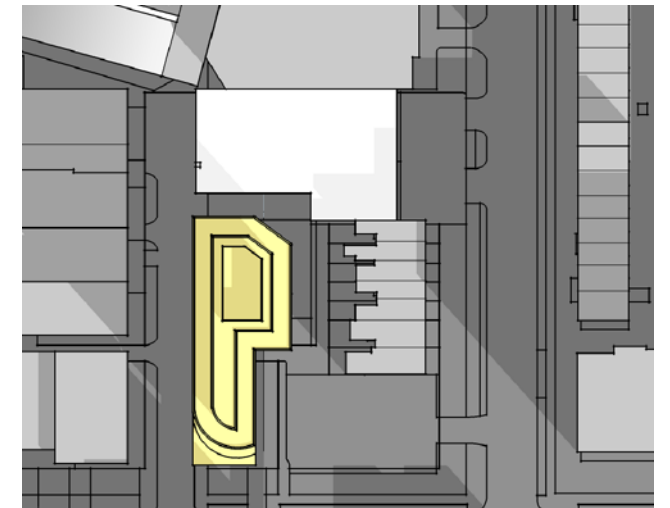




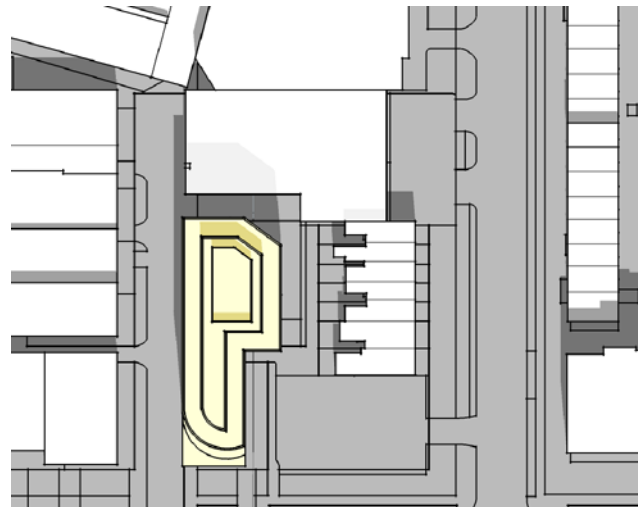
MARCH 21 - 9 AM - 107° EAST OF NORTH



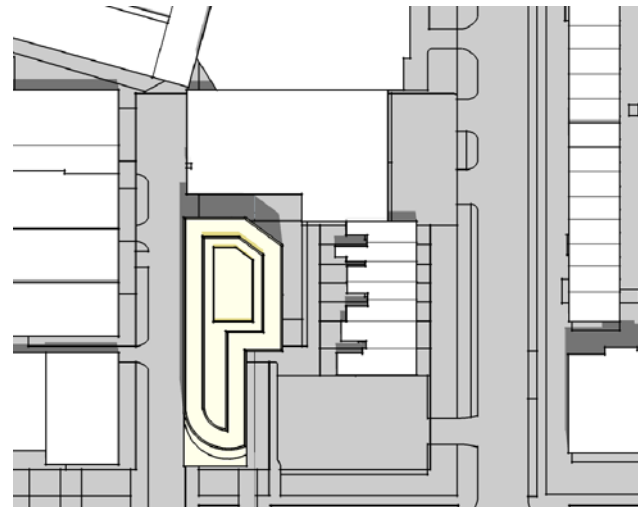
JUNE 21 - 9 AM - 59° EAST OF NORTH



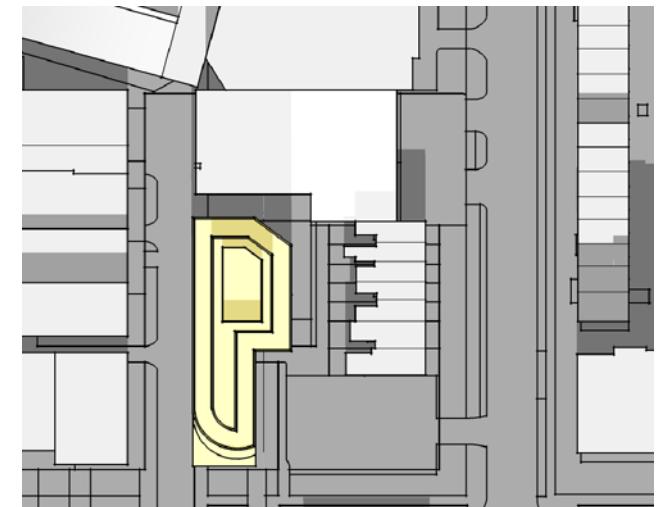
DECEMBER 21 - 9 AM - 122° EAST OF NORTH



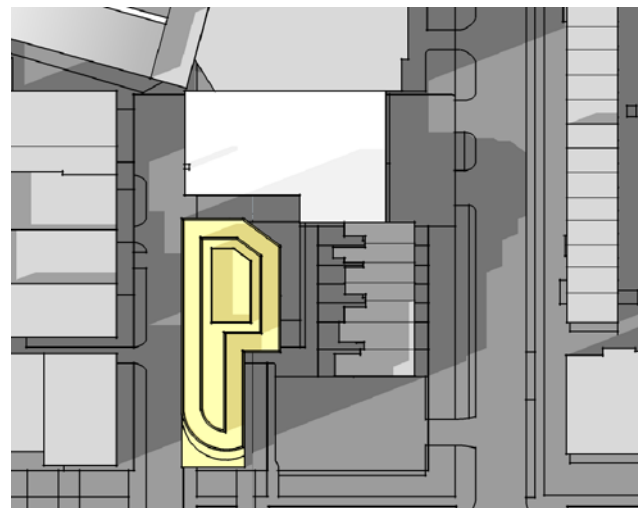
MARCH 21 - 12 PM - 152° EAST OF NORTH



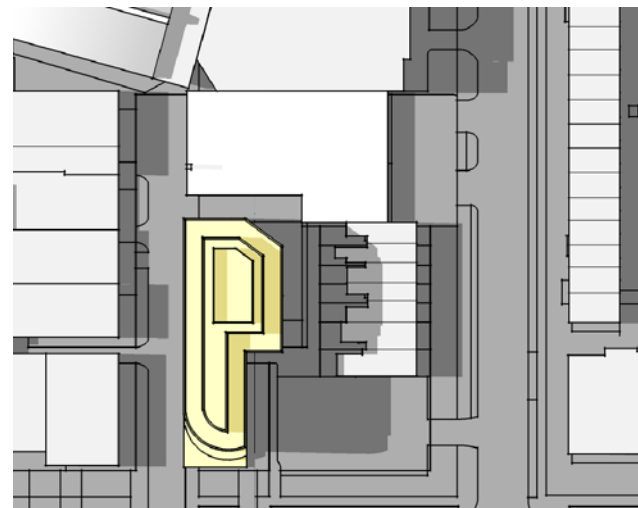
JUNE 21 - 12 PM - 2° EAST OF NORTH



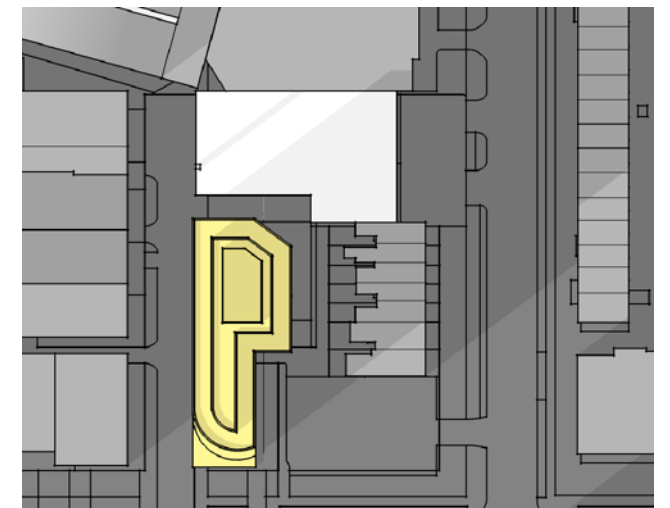
DECEMBER 21 - 12 PM - 182° EAST OF NORTH



MARCH 21 - 4 PM - 198° EAST OF NORTH

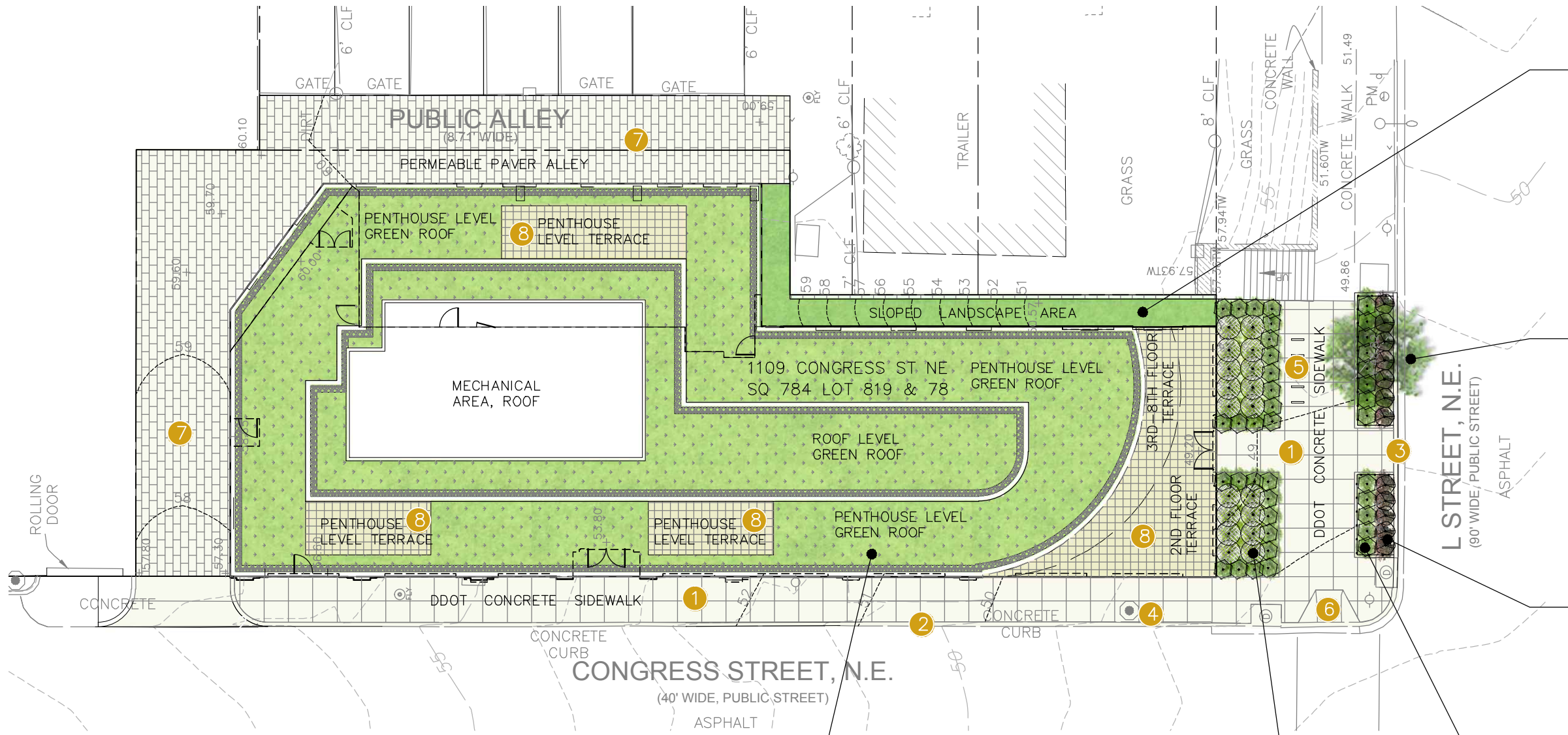


JUNE 21 - 4 PM - 311° EAST OF NORTH



DECEMBER 21 - 4 PM - 230° EAST OF NORTH





ST. JOHN'S WORT GROUNDCOVER



SHADEMASTER HONEY LOCUST STREET TREE



SHENANDOAH SWITCHGRASS



SHAMROCK INKBERRY



PRE-GROWN SEDUM MATS FOR GREEN ROOF



DWARF OAKLEAF HYDRANGEA

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development
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WASHINGTON, DC 20007

LANDSCAPE PLAN
1109 CONGRESS STREET, NE
Washington DC

AMT LLC
CONSULTING ENGINEERS
AND LAND SURVEYORS

10 G STREET, NE, SUITE 430
WASHINGTON, DC, 20002
PH: (202) 289-4545
FAX: (202) 289-5051

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1003 K STREET, NW
WASHINGTON, DC 20001



1 DDOT CONCRETE SIDEWALK



2 DDOT CONCRETE CURB



3 DDOT GRANITE CURB AND BRICK GUTTER



4 EXISTING COBRAHEAD STREETLIGHT



5 DDOT BIKE RACK



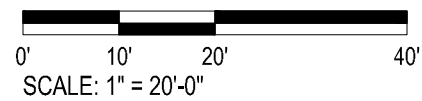
6 EXISTING ADA RAMP

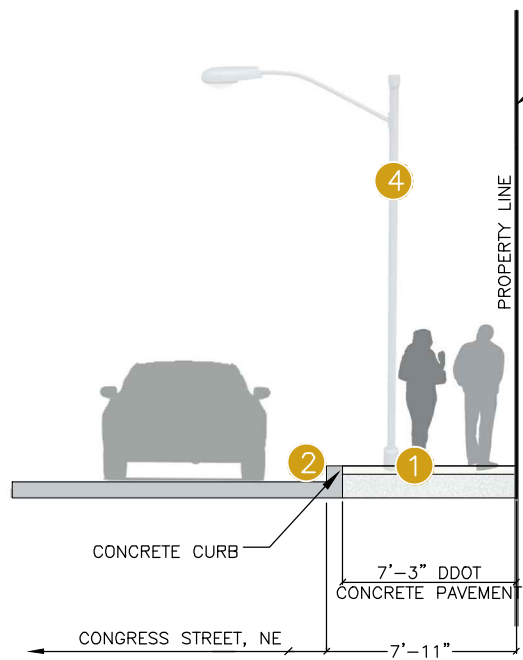
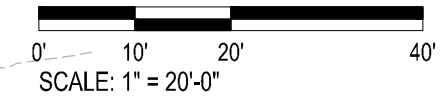
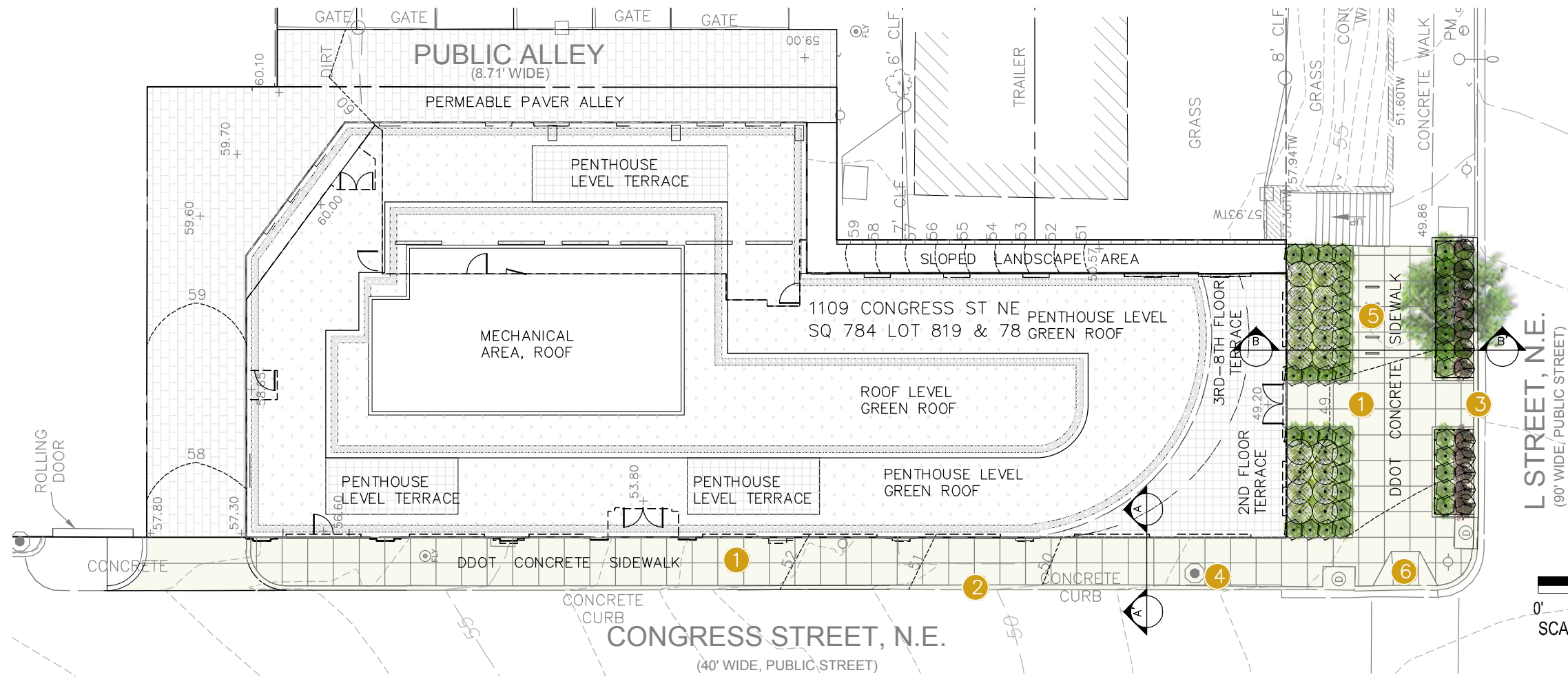


7 PERMEABLE PAVERS

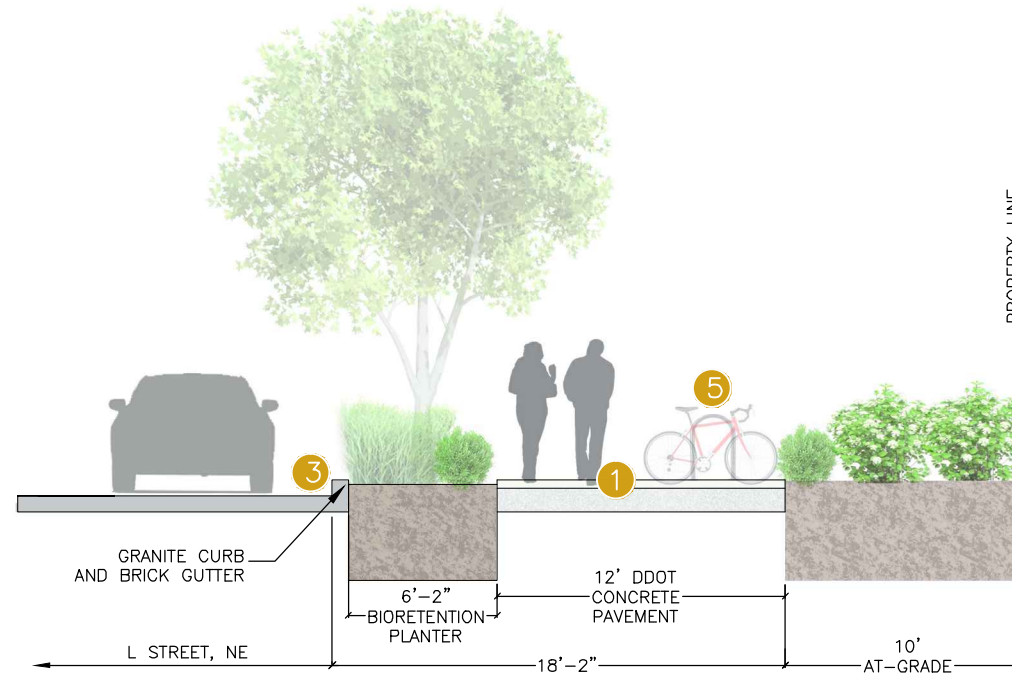


8 ROOFTOP PAVERS

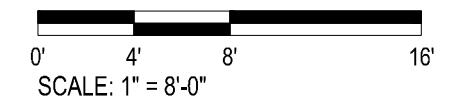


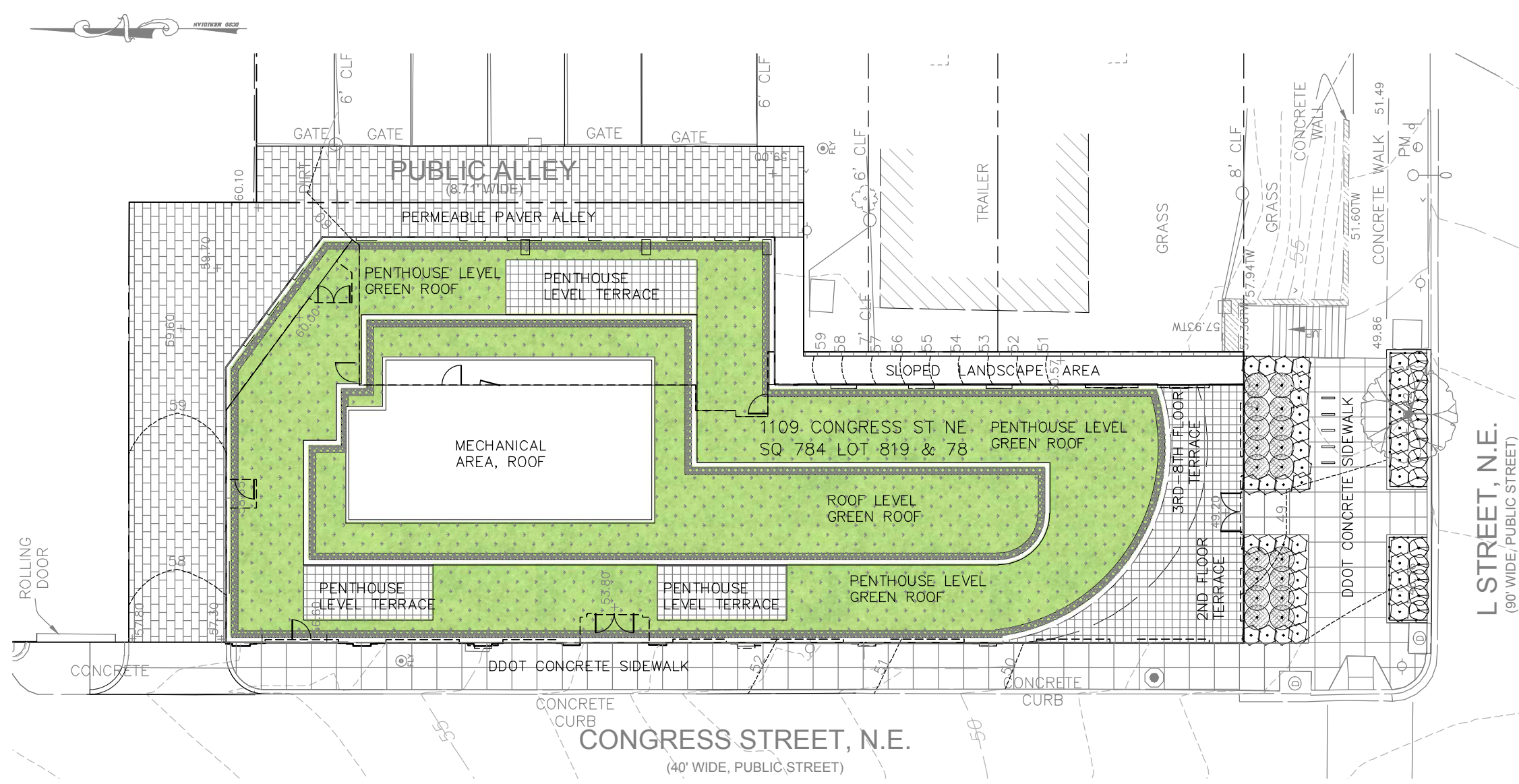


SECTION A-A'



SECTION B-B'





PLANT SCHEDULE

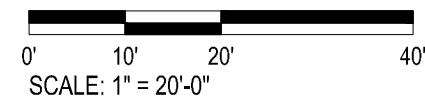
SYMBOL	QTY	BOTANICAL / COMMON NAME
	3,300 SF	PRE-GROWN SEDUM MATS WITH MINIMUM 7 SEDUM VARIETIES FROM THE FOLLOWING LIST. PROVIDE 75% EVERGREEN PLANTS. ALLIUM CERNUUM ALLIUM SCHOENOPRASUM, ALLIUM SENESCENS SP. MONTANUM VAR. GLAUCUM DELOSPERMA COOPERI, DELOSPERMA NUBIGENUM DIANTHUS CARTHUSIANORUM PHEDIMUS TAKESIMENSIS 'GOLDEN CARPET' SEDUM ACRE SEDUM AIZOON 'EUPHORBIODES' SEDUM ALBUM, SEDUM ALBUM 'MURALE' SEDUM HYBRIDUM 'IMMERGRUNCHEN' SEDUM KAMTSCHATICUM SEDUM KAMTSCHATICUM VAR. FLORIFERUM 'WEIHENSTEPHANER GOLD' SEDUM PULCHELLUM SEDUM REFLEXUM 'BLUE SPRUCE' SEDUM RUPESTRE 'ANGELINA' SEDUM SIEBOLDII SEDUM SEXANGULARE SEDUM SPURIUM 'FULDAGLUT' AND OTHER CULTIVARS TALINUM CALYCIUM

GAR SUMMARY

GREEN ROOF, 2"-8" 3,300 SF

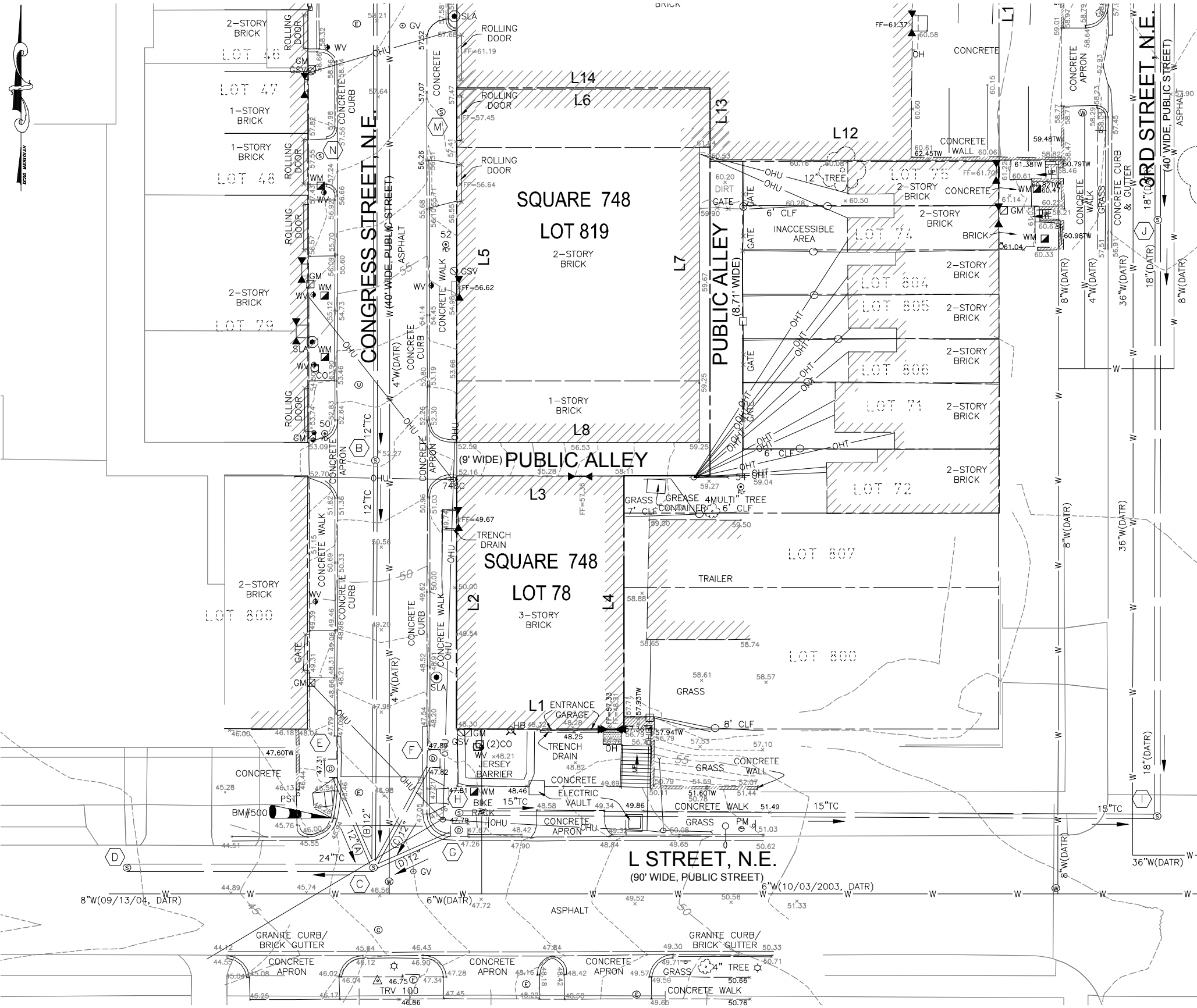
REQUIRED GREEN ROOF SCORE = 0.3

NOTE: GREEN AREA RATIO SCORE IS PRELIMINARY AND SUBJECT TO CHANGE WITH DESIGN DEVELOPMENT



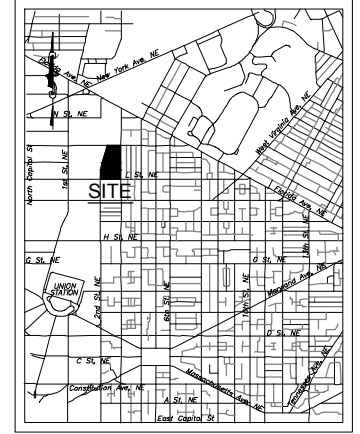
Address: 1109 Congress Street NE		Green Area Ratio Scoresheet	
Square	Lot	Zone District	
819	748	C-2-B	
DRAFT SCORESHEET		Lot area (#)	Multiplier
		6,472	0.306
		Score	0.306
Landscape Elements			
A	Landscape areas (select one of the following for each area)	Square Feet	Factor
1	Landscape areas with a soil depth < 24"	0	0.3
2	Landscape areas with a soil depth ≥ 24"	0	0.6
3	Bioretention facilities	0	0.4
B	Plantings (credit for plants in landscaped areas from Section A)	Square Feet	Factor
1	Groundcovers, or other plants < 2' height	0	0.2
2	Plants ≥ 2' height at maturity - calculated at 9-sf per plant	0	0.3
3	New trees with less than 40-foot canopy spread - calculated at 50 sq ft per tree	0	0.5
4	New trees with 40-foot or greater canopy spread - calculated at 250 sq ft per tree	0	0.6
5	Preservation of existing tree 6" to 12" DBH - calculated at 250 sq ft per tree	0	0.7
6	Preservation of existing tree 12" to 18" DBH - calculated at 600 sq ft per tree	0	0.7
7	Preservation of existing trees 18" to 24" DBH - calculated at 1300 sq ft per tree	0	0.7
8	Preservation of existing trees 24" DBH or greater - calculated at 2000 sq ft per tree	0	0.8
9	Vegetated wall, plantings on a vertical surface	0	0.6
C	Vegetated or "green" roofs	Square Feet	Factor
1	Over at least 2" and less than 8" of growth medium	3,300	0.6
2	Over at least 8" of growth medium	0	0.8
D	Permeable Paving***	Square Feet	Factor
1	Permeable paving over 6" to 24" of soil or gravel	0	0.4
2	Permeable paving over at least 24" of soil or gravel	0	0.5
E	Other	Square Feet	Factor
1	Enhanced tree growth systems***	0	0.4
2	Renewable energy generation	0	0.5
3	Approved water features	0	0.2
		sub-total of sq ft =	3,300
F	Bonuses	Square Feet	Factor
1	Native plant species	0	0.1
2	Landscaping in food cultivation	0	0.1
3	Harvested stormwater irrigation	0	0.1
		Green Area Ratio numerator =	1,980
*** Permeable paving and structural soil together may not qualify for more than one third of the Green Area Ratio score. Total square footage of all permeable paving and enhanced tree growth.			

PER SITE ZONING OF C-2-B, REQUIRED GAR SCORE = 0.30

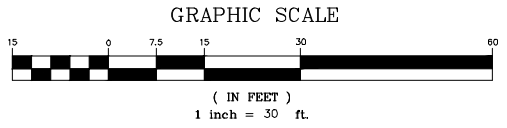


LEGEND:

- TREE
- GRATE INLET
- STORM MANHOLE
- DRAIN
- ROOF DRAIN
- POST
- SINGLE POST SIGN
- STREET LIGHT
- LIGHT POLE
- LAMP
- POWER POLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC BOX
- GROUND SHOT
- TOP OF WALL ELEVATION
- SANITARY SEWER MANHOLE
- CLEAN OUT
- WATER METER
- WATER VALVE
- WATER MANHOLE
- HOSE BIBB
- SIAMESE CONNECTION
- GAS VALVE
- GAS METER
- GAS SHUTOFF VALVE
- BOLLARD
- COMMUNICATION MANHOLE
- UTILITY MANHOLE
- TRAVERSE
- BENCHMARK
- CURB AND GUTTER
- OVERHEAD UTILITY LINE
- OVERHEAD TELEPHONE LINE
- OVERHANG
- WATERLINE
- GUY WIRE
- CHAINLINK FENCE
- WOOD FENCE
- DATA ACCORDING TO RECORDS
- TERRACOTTA PIPE
- FINISH FLOOR ELEVATION
- WIDTH DOOR
- BUILDING
- WALL
- METAL OVERHEAD



VICINITY MAP
NOT TO SCALE



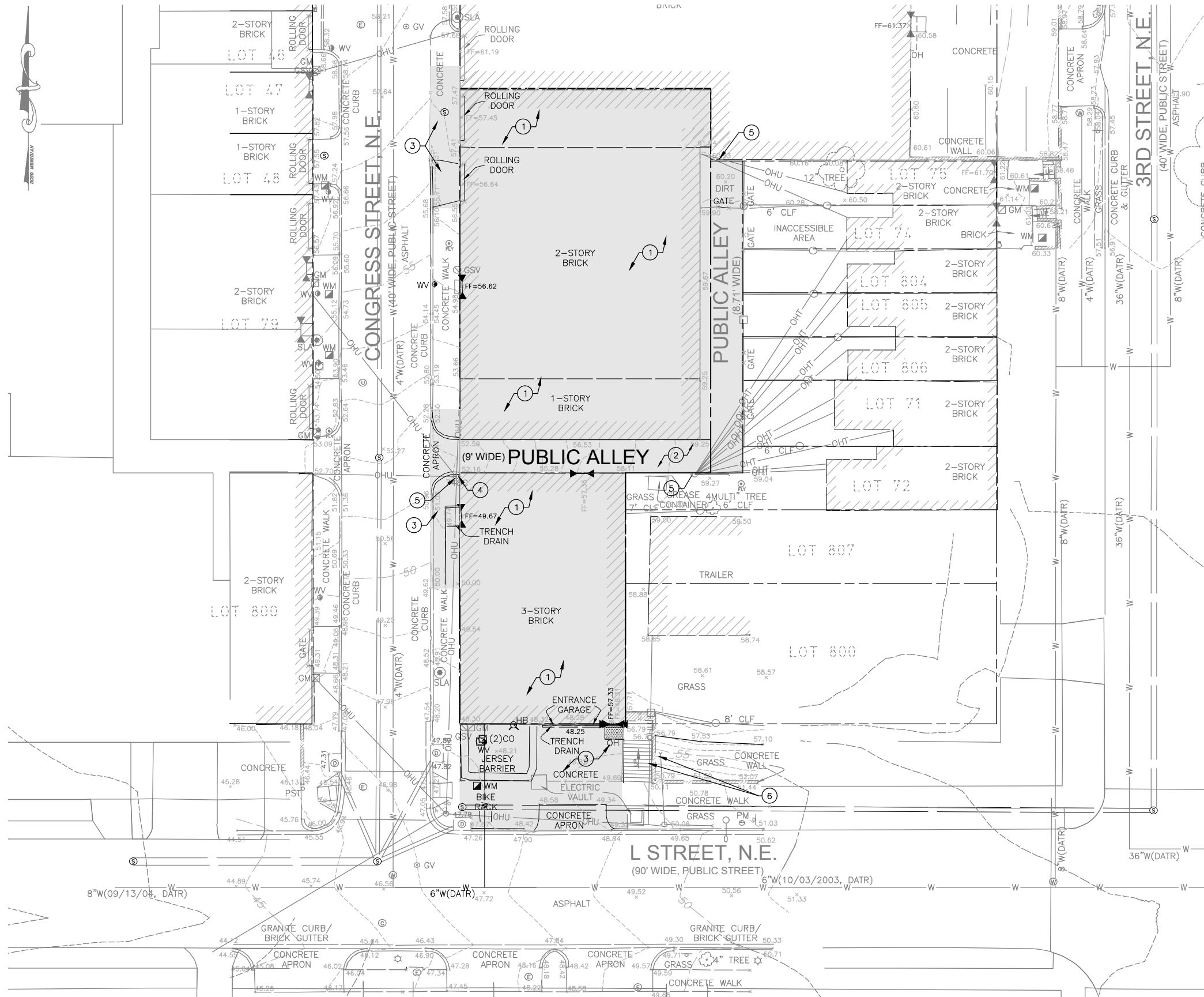
J STREET
development
1025 THOMAS JEFFERSON ST
WASHINGTON, DC 20007

EXISTING CONDITIONS PLAN
1109 CONGRESS STREET, NE
Washington DC

AMT LLC
CONSULTING ENGINEERS
AND LAND SURVEYORS

10 G STREET, NE, SUITE 430
WASHINGTON, DC, 20002
PH: (202) 289-4545
FAX: (202) 289-5051

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ARCHITECTS
1003 K STREET, NW
WASHINGTON, DC 20001

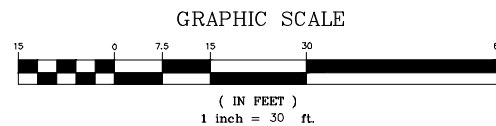


DEMOLITION LEGEND

APPROX. LIMITS OF DEMOLITION

DEMOLITION KEYNOTES

- ① EXISTING BUILDING TO BE DEMOLISHED & ASSOCIATED UTILITY SERVICES TO BE ABANDONED
- ② PUBLIC ALLEY (EAST-WEST) TO BE CLOSED
- ③ DEMOLISH SURFACE FEATURES
- ④ RELOCATE UTILITY POLE & ASSOCIATED UTILITY SERVICES, AS REQUIRED, FOR BUILDING CONSTRUCTION
- ⑤ RELOCATE COMMUNICATION UTILITY SERVICE TO EXISTING POLE AND LOTS 74 & 75 PER UTILITY COMPANY REQUIREMENTS
- ⑥ STAIRCASE ANTICIPATED TO BE REMOVED AND AREA REGRADED IN COORDINATION WITH DEVELOPMENT OF ADJACENT PROPERTY



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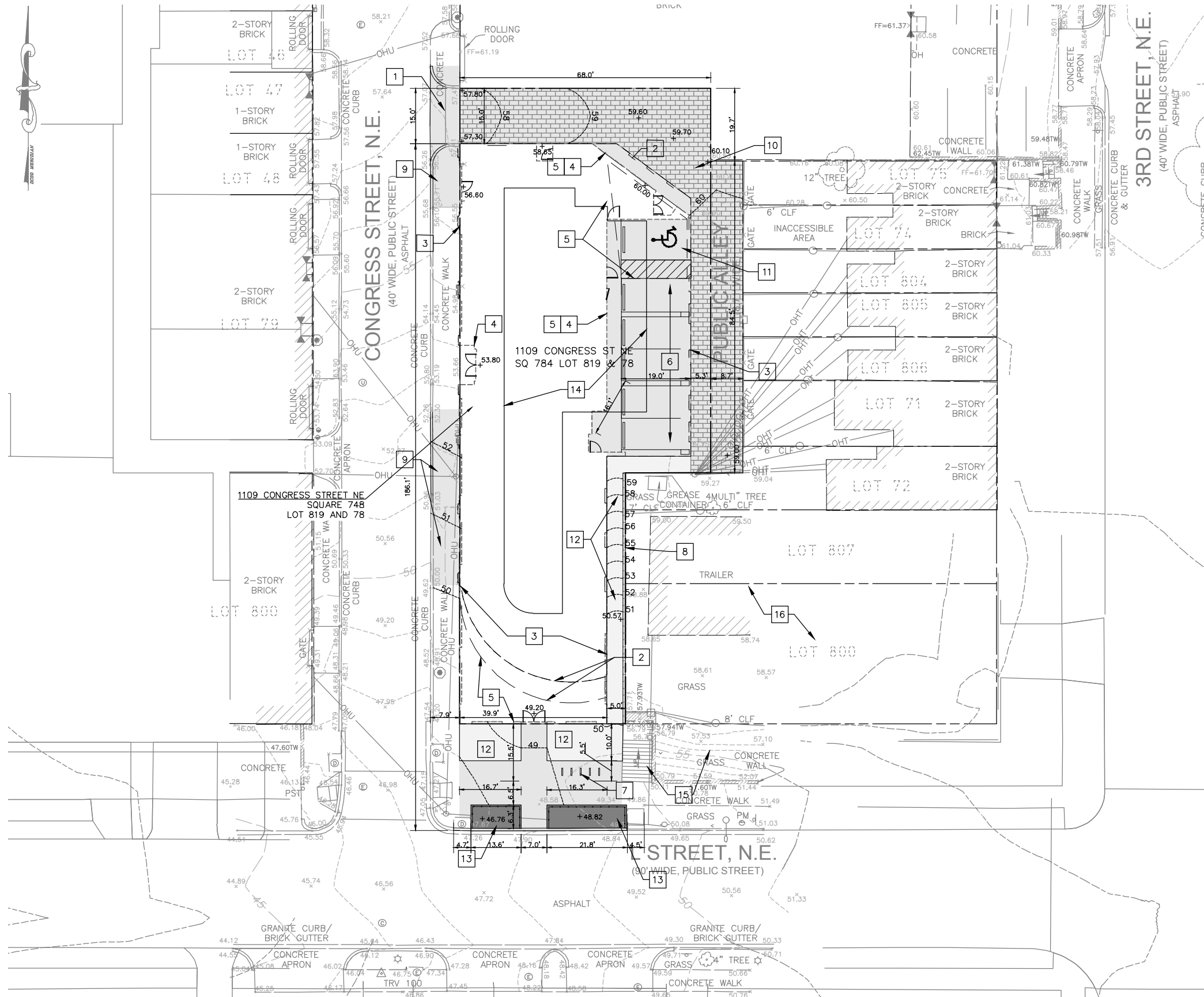
DEMOLITION PLAN
1109 CONGRESS STREET, NE
Washington DC

AMT LLC
CONSULTING ENGINEERS
AND LAND SURVEYORS

10 G STREET, NE, SUITE 430
WASHINGTON, DC, 20002
PH: (202) 289-4545
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WASHINGTON, DC 20001



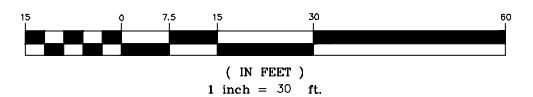
SITE PLAN LEGEND

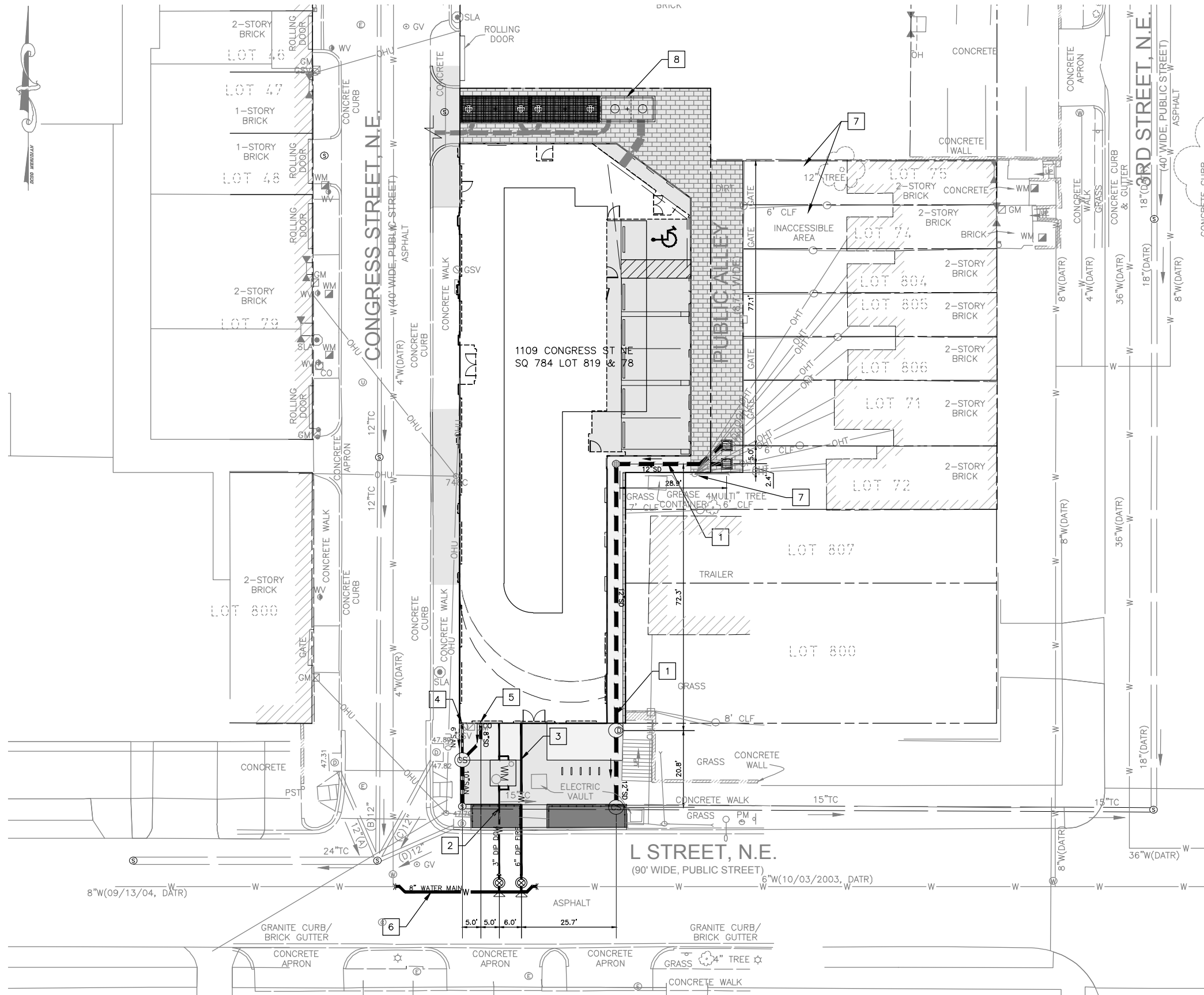
- LANDSCAPED AREA
- PERMEABLE PAVEMENT
- PAVED AREA/CONCRETE WALK
- BIORETENTION AREA
- BUILDING FACE BELOW
- STREET TREE FENCE

SITE PLAN KEYNOTES

- 1 CONCRETE ALLEY ENTRANCE WITH CURB RETURNS TYPE "A" (DDOT STD. 504.01).
- 2 LEVEL 3-8 TERRACE AREAS
- 3 PENTHOUSE LEVEL, TYP.
- 4 GROUND LEVEL, TYP.
- 5 LIMITS OF 2ND LEVEL, TYP.
- 6 GROUND LEVEL COMPACT PARKING
- 7 PUBLIC SPACE BIKE RACK, TYP.
- 8 BRICK CLACK RETAINING WALL (TEMPORARY UNTIL THE DEVELOPMENT OF ADJACENT LOTS), SEE ARCHITECTURAL PLANS, TYP.
- 9 VEHICLE ENTRANCE TO BE CLOSED AND REPLACED WITH SIDEWALK & CONC. CURB
- 10 PERMEABLE PAVEMENT, TYP.
- 11 GROUND LEVEL ADA VAN PARKING SPACE & AISLE
- 12 LANDSCAPED AREA
- 13 CURBSIDE BIORETENTION
- 14 ROOF LEVEL, TYP.
- 15 STAIRCASE ANTICIPATED TO BE REMOVED AND AREA TO BE GRADED IN COORDINATION WITH DEVELOPMENT OF ADJACENT PROPERTY.
- 16 ADJACENT PROPERTY(S) ANTICIPATED TO BE REDEVELOPED

GRAPHIC SCALE





UTILITY PLAN LEGEND

- COMBINED SEWER MANHOLE
- STORM SEWER
- WATER METER VAULT
- WATER VALVE
- 3" DOMESTIC LINE
- 6" FIRE LINE
- CLEANOUT
- 6" PVC SANITARY SEWER
- ALLEY STORM INLET
- STORM MANHOLE
- STORM INLET STRUCTURE

SITE PLAN LEGEND

- LANDSCAPED AREA
- PERMEABLE PAVEMENT
- PAVED AREA/CONCRETE WALK
- BIORETENTION AREA
- BUILDING FACE BELOW
- STREET TREE FENCE

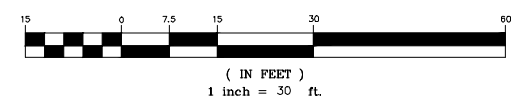
UTILITY PLAN KEYNOTES

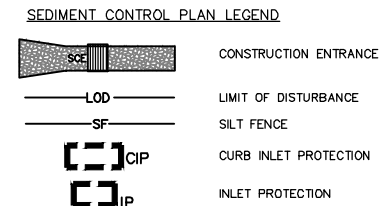
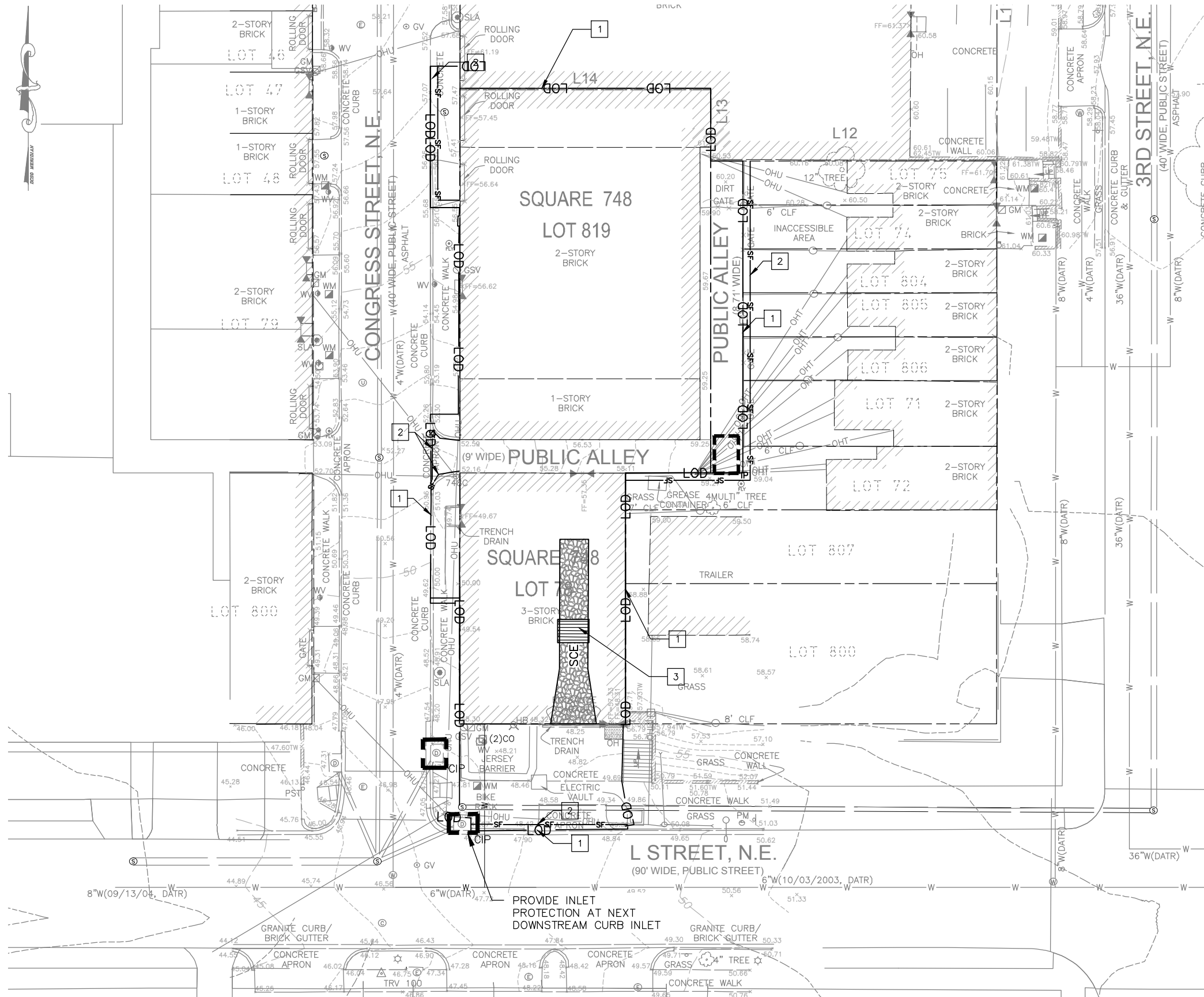
- 1 2 PRIVATE ALLEY STORM INLETS & 12" SCH40 PVC PIPE TO EX. 15" COMBINED SEWER ON L STREET NE
- 2 3" DIP DOMESTIC WATER SERVICE:
8"x6" DIP TEE W/ CONCRETE TRUST BLOCK
6" GATE VALVE AND CASING
6" X 3" DIP REDUCER
3" DOMESTIC WATER METER & VAULT
3" DIP LATERAL CONNECTION TO BUILDING
- 3 6" DIP FIRE SERVICE:
8" X 6" DIP TEE W/ THRUST BLOCK
6" GATE VALVE & CASING
6" DIP LATERAL CONNECTION TO BUILDING
- 4 6" PVC SANITARY SEWER SERVICE:
6" PVC LATERAL CONNECTION TO BUILDING
CONCRETE CLEANOUT MANHOLE
10" PVC LATERAL
10" CONNECTION TO EXISTING MANHOLE
- 5 8" PVC STORM SERVICE:
8" PVC LATERAL CONNECTION TO BUILDING
8" STORM CLEANOUT
8" PVC LATERAL
8" CONNECTION TO CONCRETE MANHOLE
- 6 8" WATER MAIN REPLACEMENT
- 7 PROVIDE COMMUNICATION UTILITY SERVICE TO EXISTING UTILITY POLE AND LOTS 74 & 75, PER UTILITY COMPANY REQUIREMENTS (NOT DEPICTED)
- 8 PEPCO TRANSFORMER(S) "ASSUMED". SEE NOTE 2 IN UTILITY NOTES BELOW.

UTILITY NOTES:

1. PROPOSED UTILITY DESIGN IS SCHEMATIC AND SUBJECT TO FINAL DESIGN AND AGENCY/ UTILITY COMPANY REVIEW. UTILITY LOCATIONS AND SIZES SHOWN ARE APPROXIMATE.
2. FOR THE PEPCO TRANSFORMER(S), THE ACTUAL LOCATION TO BE DETERMINED IN CONSULTATION WITH PEPCO BASED ON FINAL ENGINEERING PLANS, ELECTRICAL SERVICE NEEDS, AND PEPCO REQUIREMENTS.

GRAPHIC SCALE



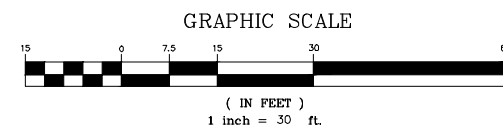


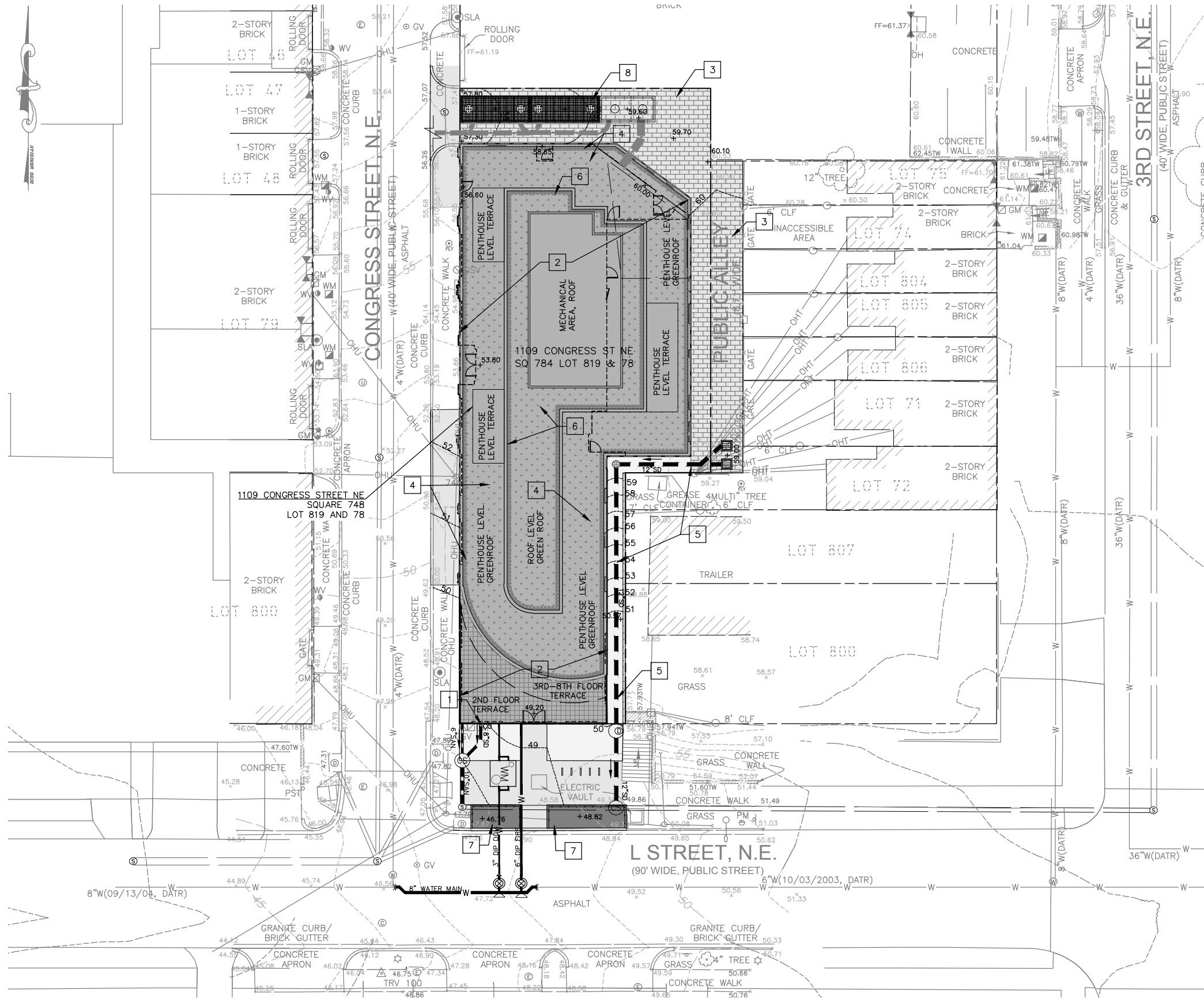
SITE TABULATION:

TOTAL AREA DISTURBED = 11,964 SF
 PRIVATE SPACE LOD = 10,145 SF
 PUBLIC SPACE LOD = 2,514 SF
 BUILDING FOOTPRINT = 6,352 SF

CONCEPT SEDIMENT CONTROL PLAN KEYNOTES

- 1 LIMITS OF DISTURBANCE, TYP. SHOWN AT OFFSET FOR GRAPHICAL PURPOSES
- 2 SILT FENCE AT LIMITS OF GROUND DISTURBANCE, TYP
- 3 CONSTRUCTION ENTRANCE





UTILITY PLAN LEGEND

- COMBINED SEWER MANHOLE
- STORM SEWER
- WATER METER VAULT
- WATER VALVE
- 3" DOMESTIC LINE
- 6" FIRE LINE
- CLEANOUT
- 6" PVC SANITARY SEWER
- ALLEY STORM INLET
- STORM MANHOLE
- STORM INLET STRUCTURE

SITE PLAN LEGEND

- LANDSCAPED AREA
- PERMEABLE PAVEMENT
- PAVED AREA/CONCRETE WALK
- BIORETENTION AREA
- BUILDING FACE BELOW
- STREET TREE FENCE
- ROOF TERRACE
- GREEN ROOF
- BUILDING
- GREEN ROOF BALLAST

CONCEPT STORMWATER MANAGEMENT PLAN

- 1 8" PVC STORM SEWER CONNECTION TO COMBINED SEWER MANHOLE
- 2 LIMITS OF BUILDING
- 3 PERMEABLE PAVING, TYP.
- 4 PENTHOUSE GREEN ROOF WITH 1' BALLAST PERIMETER, TYP.
- 5 2 PRIVATE ALLEY INLETS & 12" SCH40 PVC PIPE TO EX. 15" COMBINED SEWER ON L STREET NE
- 6 ROOF LEVEL GREEN ROOF WITH 1' BALLAST PERIMETER, TYP.
- 7 PUBLIC SPACE CURBSIDE BIORETENTION
- 8 PEPCO VAULTS (ASSUMED)

STORMWATER MANAGEMENT NARRATIVE

STORMWATER MANAGEMENT AND GREEN AREA RATIO REQUIREMENTS WILL BE MET ON PRIVATE PROPERTY WITH GREEN ROOFS AND PERMEABLE PAVEMENT. PUBLIC SPACE STORMWATER MANAGEMENT WILL BE MET BY CURBSIDE BIORETENTION AND LID MEASURES AS OUTLINED IN THE DDOT GREEN INFRASTRUCTURE STANDARDS MANUAL. TO ADDRESS DRAINAGE DUE TO CLOSING OF THE PUBLIC ALLEY, PRIVATE STORM INLETS AND A STORM DRAIN SYSTEM WILL BE CONSTRUCTED PREDOMINANTLY ON PRIVATE PROPERTY TO SERVE THE PUBLIC ALLEY AND CONVEY RUNOFF TO THE EXISTING 15" COMBINED SEWER MAIN IN L STREET, NE.

GRAPHIC SCALE

